



4 Seasons Home Inspection, LLC

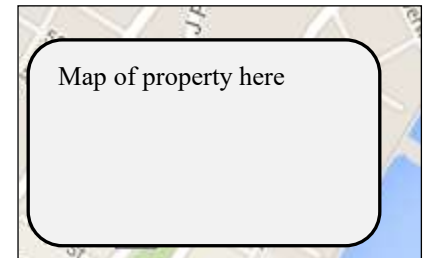
150 Maple Avenue, #128, South Plainfield, NJ 07080
www.4SeasonsHI.com 1-877-547-7383

Mr. & Mrs. Client
Street address
West New York, New Jersey

Please carefully read the following inspection report in its entirety and the Scope of Inspection. The inspection was a visual inspection and performed accordingly to the New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection. Inspection behind walls, ceilings, flooring or other covered surfaces is excluded from a visual home inspection. That would involve destructive measures to see behind them. The home inspection report and any other applicable reports (radon, wood destroying insects) are emailed to you, your attorney or realtor if indicated by initialing appropriate areas on last page of Pre-inspection agreement. If a hard copy was ordered on the last page of your agreement, then and only then will a hard copy be mailed via USPS. Please read all addenda and supplementary attachments. Pursuant to 13:40-15.2 Definitions "Home inspection report," all items in report must not be ignored where recommendations made regarding the need to repair, replace or monitor a system or component or to obtain examination or evaluation and analysis by a qualified professional, tradesman or service technician. Please call us with any questions or concerns that you may have so that they may be promptly answered before your closing. If recommendations not acted upon or followed up with sellers before closing, it will be solely your responsibility for repairs and costs incurred by not following report recommendations.

RECEIPT

Inspection Date: September date/year
Client Name: -----
Emails: lawyer, realtor
Inspection Address: West New York, NJ 07093
Inspected by: Linda Geczí home inspection lic. #24GI00061500



BUILDING DATA

Approximate Age: 100+ yrs.
Style: 1 Apartment over store front
Main Entrance Faces: W
State of Occupancy: Occupied store, vacant apt.
Weather Conditions: Clear 85°F
Ground cover: damp, rain past 24 hrs.

Home Inspection Apt :	\$----.00
\$--- apt &+ \$---- Store	
Termite:	INCL.
Radon	\$----.00
Garage- detached	\$----.00
Total:	\$ ----.00

Paid by: Check # 1092

Cc: attorney, Esq.

Main Concerns (p.2-3) and Detailed Report follows this page (3-60)

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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MAIN CONCERNS: Recommend qualified contractors or licensed professionals further evaluate, address defects and/or make repairs before closing.¹ Responsibilities of repairs and negotiations are not part of a home inspection and should be discussed with your Attorney. **READ entire REPORT.**

1. **ROOF/LEAKS:** Have a commercial roofer evaluate the main building & garage roofs for roof repairs/replacements/structure, flashings/plumbing vents/chimney, skylight, gutters/drainage, siding/trim, etc. before closing. Roofs had tarring, active leaking into the interior and in marginal to poor conditions.
2. **STRUCTURE/SIDING/CRACKS:** Recommend a structural contractor or professional (engineer, builder, etc.) evaluate the structure/siding damage to the main building and garage. There were structural deficiencies/defects observed on both the building and garage. There were sloped flooring in home, canted doorways/window frames, sagging joists, split joists, separated joists & nails, twisted/tilted floor joists, sagging beams, several handyman braces added under flooring in basement, etc. There are structural concerns. Recommend a structural carpenter and/or structural professional evaluate structure and advise on all repairs. Confer with the engineer or qualified structural professional to determine additional supports needed to accommodate the weight on flooring above due to the business's inventory (bottles of liquor, soda, etc.), refrigeration units, shelving, etc. There is a lot of weight being supported by the older structure which had deficiencies or defects.
3. **SAFETY /FALL HAZARDS/ IMMINENT DANGER:** There was a shed roof on rear right neighbor that joins the side of building; possible a walkout or shed roof? This roof is easily accessed from this property and the retaining wall. Recommend a safety grate/fence/railing across the two building where the shed roof ends for safety. If anyone or a child climbs this roof the drop off goes to an inaccessible alley below; dangerous! There were no visible access doors or windows on right side of building and it's a steep dropoff. There were beer bottles on garage roof; recommend signage and grilles to deter climbing and access to roof for safety. The basement door swings over the steps; fall hazard. Recommend a structural carpenter evaluate for a platform, new steps and railings.
4. **ELECTRICAL:** There were buzzing breaker(s) in main panel in the store; safety hazard/dangerous. There were open junction boxes, loose wiring, live abandoned wiring (dangerous), missing screws/improper panel screws, improper installations (devices & sub panels), old devices, inaccessible areas, no power to garages, etc. Dangerous conditions exist in building and garages. The building & garages needs electrical upgrades throughout store, basement, apartment, garages and exterior. Each family and business has different electrical requirements or needs. Discuss all renter and business electrical needs with electrician and have added.
5. **PLUMBING:** There was handyman plumbing installations in building, old/corroded/leaking plumbing (piping/drains/valves, etc.), strong methane smell in basement, improperly sloped waste pipes (basement), laundry sink draining to a sump pump, slow drains, abandoned piping, broken valves (water/gas), cutoff piping, improperly vented hot water heaters & boiler, etc. Have a licensed plumber evaluate the plumbing in entire building and advise on all repairs and upgrades. Have all water damage/rot repaired along with structural repairs. Ask if there plumbing insurance available for sewer main and water mains in this township; check with water company.

6. **CHIMNEY**: Recommend a chimney contractor evaluate chimney & flues as per Level II National Fire Safety Standard NFPA211. Building is very old and venting on basement appliances were not installed properly. Have a licensed plumber and chimney contractor evaluate appliances for proper venting and number of allowed appliances per flue as per local township.
7. **HEATING**: The boiler & pilot was found “off” in basement. The venting on boiler & hot water heaters was unconventional & improper pitch on boiler vent. The boiler vent should vent upwards and below the gas hot water heaters; hotter appliance below the cooler ones. The venting from all three appliances goes into same flue. There were rusty drip marks on wall under the vent connector; drafting concerns. Recommend a licensed plumber or boiler contractor evaluate all venting, check for flue size/number of appliances allowed in township and check for presence of liner for fire/life safety. Water stains on air vent on radiators in apartment. Have all radiators and distribution piping/connctiosn checked when boiler turned on and tested before closing. Recommend testing Boiler, radiators/distributions, heat in all rooms/store/bathroom, chimney & flues prior to closing.
8. **OIL TANKS**: There was copper line(s) in basement on floor; follow-up with a tank sweep contractor to rule out any buried oil tanks on property before closing.
9. **LEAD TESTING/WINDOW/SAFETY**: Recommend lead testing for apartment before renting for health safety. Recommend a window installer evaluate windows; older and a mix of types. Recommend child safety grilles on apartment windows for safety. Screens will not hold back a child; safety measures recommended before renting.

¹ **Pursuant to NJAC 13:40-15.2 Definitions:**

“Material defect” means a condition, or a functional aspect, of a structural component or system that is readily ascertainable during a home inspection that substantially affects the **value, habitability, or safety of the dwelling**, but does not include decorative, stylistic, cosmetic, or aesthetic aspects of the system, structure or component.

REPORT OVERVIEW

THE HOUSE/BUILDING IN PERSPECTIVE

CONVENTIONS USED IN THIS REPORT- ALL SYSTEMS IN HOME MUST BE SERVICED YEARLY AND PROPERLY MAINTAINED AND UPGRADED AS THEY AGE

SATISFACTORY - Indicates the component is functionally consistent with its original purpose but show signs of normal wear and tear and deterioration and will need maintenance or repairs at any time over its life. Plan and budget for these repairs, replacement and upgrades. Have systems serviced regularly and maintained.

MARGINAL * - Indicates the component needs repairs, upgrade, monitor and/or replacement anytime over its life. Plan and budget for these repairs, replacement and upgrades. Defects exist- have evaluated and repaired.

POOR* - Indicates the component needs repair or replacement now. Defects exist- have evaluated and repaired.

SAFETY HAZARD* - Denotes a condition that is unsafe and in need of prompt attention now

***NOTE:** All observations or comments reported in this written report should obtain examination and analysis by a qualified professional, tradesman or service technician for that concern, defect or repair prior to closing for cost of repair, replacement or upgrade.

THE SCOPE OF THE INSPECTION (READ & UNDERSTAND)

All components designated for inspection in the **New Jersey Standards of Practice 13:40-15.16 in readily accessible areas at time of inspection** except as may be noted in the “Limitations of Inspection” sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. This inspection should not be considered as an opinion or as advice as whether or not to purchase the property. Not all recommendations will be identified during this inspection. It is not our job or function to fix or solve a problem. We report on the conditions at time of inspection and recommend a specialist to further evaluate and advise on cost of repairs or remedy. Home inspectors are “Generalists” not experts or builders. A home inspection is not a CODE inspection. ****A certificate of occupancy or habitability should be obtained before closing. Township code officers perform code inspections for that certificate; not home inspectors.*** Code issues may arise that need corrections that are not part of a general home inspection and should be addressed before closing. Unexpected repairs as well as maintenance should still be anticipated. All systems and building structure will age and need repairs regardless of the age of home. Plan and budget accordingly. The inspection is not considered a guarantee or warranty of any kind. It is a snap shot in time and conditions will change with time. A “Home Warranty” is readily available from most realtor offices or on the market to help defray the cost of repairs during the life of a home. We strongly recommend this and all other forms of service plans for HVAC and insurance on sewer and water main lines.

In addition to the NJ standards, please refer to the pre-inspection agreement/contract according to NJAC 13:40-15.15, for a full explanation of the scope of the inspection. All reported items of consideration in this report must be addressed for repair evaluation and cost prior to closing. Any conditions concealed, latent, inaccessible or covered up at time of inspection are NOT the responsibility or liability of the home inspector or company. Walls, ceilings, carpeting, or other forms of coverings or finished surfaces cannot be removed during a non-invasive home inspection. Therefore, to see into walls and below surfaces can only be done with a contractor that can perform invasive inspections. We cannot guess or comment on anything behind coverings and report on non visual or concealed areas. There is always a chance for concealed damage or mold or other structural concerns within walls, floors and ceilings. ***If you are not satisfied with a visual inspection, it is recommended to engage in those services that can open up walls, ceilings or flooring before closing since it cannot be done in a visual home inspection.*** This is under the law in the **New Jersey Standards of Practice 13:40-15.16** for a licensed home inspector in the state of New Jersey.

.We Always Miss Some Minor Things

The intent of the inspection is not to find minor problems or cosmetic items. It is to find major problems or defects. The minor problems that are identified were discovered while looking for more significant problems. We may note them simply as a courtesy.

Not Insurance or Warranty

In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy or warranty.

GROUNDS

SERVICE WALKS None *Public sidewalk needs repair*
Material: Concrete Flagstone Gravel Brick Other
Condition: Satisfactory Marginal Repair all walking surfaces for safety *Trip Hazard*
 Pitched towards home *Settling cracks* Not visible Typical cracks

DRIVEWAY/PARKING Shared driveway
Material: Asphalt Concrete slabs by building Other
Condition: Narrow alley Marginal Poor Driveway needs repairs/replacement
 Pitched towards building *Trip hazard* *Settling Cracks* Typical crack

PORCH (COVERED ENTRANCE) None

STOOPS/STEPS None *Uneven risers*

PATIO None

DECK/BALCONY (*flat, floored, roofless area*) None

DECK/PATIO/PORCH COVERS None *Earth to wood contact* *Moisture/Insect damage*

FENCE/WALL Not evaluated None

LANDSCAPING AFFECTING FOUNDATION (*See remarks page*)

Negative Grade: East West North South Satisfactory

Recommend filling/sealing house & drive/concrete junctures *Recommend window wells/covers*

Trim back trees/shrubberies

Wood in contact with/improper clearance to soil Yard drains observed - not tested

NOTE: *Sink holes and other Geological issues are NOT part of a general home inspection*

13:40-15.16 (f)1(v) Standards of practice

v. Vegetation, grading, drainage, and retaining walls with respect to their immediate detrimental effect on the condition of the residential building, excluding fences, geological and/or soil conditions, sea walls, break-walls, bulkheads and docks, or erosion control and earth stabilization;

RETAINING WALL None Material: **concrete & stone** *Drainage holes recommended*

Condition: Satisfactory Marginal Poor, cracked/damaged *Safety Hazard* *Leaning/cracked/bowed*
 (Relates to the visual condition of the wall)

HOSE BIBS None No anti-siphon valve

Operates: Yes No Not tested Not on

GENERAL COMMENTS

GROUNDS: Recommend controlling water seepage into basement. Have a mason or building contractor evaluate/repair/seal all building/concrete/retaining wall junctures. See basement & structural comments. There was a retaining wall to right side by neighbor; find out who is responsible for the wall & repairs. The wall is leaning and has been patched over the years. Have a retaining wall contractor or qualified mason evaluate for repairs if belongs to this property. There were inaccessible sides of building on right of main building and behind garage due to neighbor's buildings touching too close to this property. There was a dangerous drop off on rear right off a shed roof that is potentially climbable by persons or children. See "Siding section" comments. This area and the garage need to have signage and fencing or security grilles to block off dangerous areas. Repair all walking surfaces (sidewalks, driveway, concrete slabs, etc.) for safety. Recommend having proper roof drainage on the main building and the garage and keep water away from structures. The left alley was very narrow; use caution using with large vehicles. The delivery door to basement was open and poses a danger or fall hazard. Recommend safety gates, railings or netting, etc. Recommend a railing and a conveyor system for deliveries for safety. See Appendix for examples. Follow-up with Industrial safety catalogs, companies and their safety consultants for the best guard rail to use when the basement is open. Recommend a fence, railing or safety grille on to of shed roof between this building and right neighbor for safety; drop off is dangerous!

CONCERNS:

1. The delivery door to basement was open and poses a danger or fall hazard. Recommend safety gates, railings or netting, etc. Recommend a railing and a conveyor system for deliveries for safety. See Appendix for examples. Follow-up with Industrial safety catalogs, companies and their safety consultants for the best guard rail to use when the basement is open. Recommend a fence, railing or safety grille on top of shed roof between this building and right neighbor for safety; drop off is dangerous!



Figure 1 Dangerous; fall hazard to basement when door is left open. Follow-up with a safety supply company & consultant for railings, fencing and conveyor when receiving shipments or products for basement storage.

ROOF

ROOF VISIBILITY All Partial None Limited by: Angle

INSPECTED FROM Roof Ladder at edge of roof ladder only (*Inspection Limited*) With Binoculars

STYLE OF ROOF

Type: Gable Hip Mansard Shed Flat Other
Pitch: Low Medium Steep Flat

ROOF COVERING

Roof #1: Main Type: *rolled/silver coated* Estimated Layers*: *not visible* Approximate age of cover: *older* (yrs.)

Roof #2: lower Main Type: *rolled* Estimated Layers*: *not visible* Approximate age of cover: *older*

Roof #3: Garage Type: *rolled/silver coated* Estimated Layers*: *not visible*

Approximate age of cover: *possibly 2-5- obtain all closed permits for exact ages of roofs*

Layers- only the visible layers; drip edges can conceal additional layers.*

NOTE: It is always recommended to obtain roofing information on brand and warranty due to current concerns with some GAF and other manufacturer's architectural roof shingles involved in a class action suit to err on side of caution. Often it cannot be determined by visual inspection. Age of roof is only an approximation. Installer's paperwork is only proof of age.

VENTILATION SYSTEM **Type:** Soffit Ridge Gable Roof

Appears Adequate: Yes No Turbine Powered Other More ventilation recommended
(See Interior remarks page) (See Attic section)

Need more Ventilation to avoid mold-like substances, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage and shortening life of roof.

FLASHING

Material: Galv/Alum Asphalt Not visible Tarred- not recommended

Condition: Not visible Satisfactory Marginal Poor Rusted

Separated from chimney/roof Recommend proper flashings on roof tops

VALLEYS

Not visible N/A **Material:** Galv/Alum Asphalt Lead Copper

CONDITION OF ROOF COVERINGS

Roof #1: Main bldg. Poor/leaking Have evaluated/repair/replace

Roof #2: lower roof Main Poor Have evaluated/repair/replace

Roof #3: Garage Marginal Have evaluated/repared

Condition #1 & 2 : Curling Cracking Rippled, uneven Burn Spots Broken/Loose Tiles/Shingles

Main Bldg. Spot/spongy areas Cracking Alligatoring Leaking in apartment or interior

Ruts/scraps Ponding Cupping torn, splits

Multi-layer roof- not recommended

Condition #3: Curling/lifted Tarred seams Tarred flashings Tarred coping

garage Gaps on coping on parapet walls Spot/spongy areas Alligatoring under silver paint Blistering

Missing Tabs/Shingles/Tiles Exposed felt Ponding Gaps/openings in rear by adjacent building

Multi-layer roof- not recommended

READ THIS NOTE: All roofs if not in perfect **LEAK –FREE condition**, water can and will leak into a home, causing damage, and mold. Anything checked off above in conditions section must be addressed or corrected and evaluated by a qualified roofer prior to closing. Plan for yearly repairs and roof replacement. Obtain the roof warranty from sellers. Water damage and mold can be concealed behind walls, ceilings or any other covering that cannot be seen during a Visual Home Inspection. Refer to the NJ Standards of Practice sent with your Pre-Inspection contract. If you have any concerns, you must engage in a contract with a licensed contractor to open up walls, ceilings, flooring or other cladding or covering by arranging it with the sellers before closing to rule out hidden problems, mold or other water related issues. There are costs associated with this type of invasive investigation. This will involve destructive means that is beyond the scope of a general visual home inspection under New Jersey law. See siding section for similar comments about hidden damage.

MULTI-LAYER ROOFS: Multi- layers will shorten life of existing roof. There are many disadvantages of having multi-layer roofs even though it may be acceptable in many municipalities across New Jersey. Multi layers wear faster or shorten the current roof layer because of the uneven surface that it was laid over. These roofs are heavier and increase the dead load thereby placing the roof structure under greater load often causing deflection. Deflection was observed from street or distance looking at roof. Multi layers (ML) are more inclined to have shingles blow off especially if nails cannot penetrate the roof decking. The key factor or weakness in ML layer roofs are the fact that flashings are not replaced without stripping off roof. This makes the roof vulnerable in areas where old flashings remain and often tarred over. The sun's UV rays cracks tar year to year and water leaks in these areas. ML roofs tend not to dry out sufficiently and thus accelerating the ageing or deterioration of the newest layer. Flashings are the most important detail of a well installed roof to help protect the junctures and penetrations from water entry. A ML roof lacks new flashings since it was not stripped off for their installations. ML roofs will make attic hotter, trap moisture and cause sheathing damage, rot and mold due to trapped heat and moisture. Roofs should have more or maximum ventilation. Have roof, ventilation and gutters evaluated by qualified roofer before closing.

SKYLIGHTS N/A **Cracked/Broken** Not visible Cloudy or overcast; limited visibility
Condition: Satisfactory Marginal Poor **Tarred/dirty- have replaced with new roof**

PLUMBING VENTS Yes No Satisfactory Marginal/ Poor/tarred
 Recommend roofer evaluate and advise on costs repairs/replacement before closing Not Visible

Conditions reported above reflect visible portion only

GENERAL COMMENTS

ROOFS: There was a very old skylight on main building roof; tarred, older and in poor condition. Roof was tarred on seams/roofing, coping, parapet walls, plumbing vents, chimney, etc. Tarring breaks down, cracks and leaks. There was a A roof hatch that was roofed over and sealed; inaccessible. The roof drainage on main building and garage were poor. Roofing on main building was old and silver painted; cracks, soft spots, separations on seams, lifted or fish mouths, tarring, and ponding, leaking (**active moisture in the interior apartment or building**). See interior section comments; water stains, peeled paint/wall paper and moisture detected. The garage roof may have been recoated/ replaced/repared in past few years; obtain all closed permits and documentation for roof for age and any transferrable warranty. There were tarred roofing, gaps on seams, ponding, cracks on parapet wall/coping, soft areas on roofing, gaps/openings at juncture rear adjacent building and inadequate or poor drainage. Have a qualified commercial roofer evaluate main and garage roofs and advise on all repairs/replacement and roof drainage. Have qualified roofer or building contractor evaluate the parapet walls, coping and flashings with roof evaluation. Recommend replacing all skylight(s), plumbing vents & flashings, drainage, etc. Roof penetrations (plumbing, chimney, etc.) were heavily tarred and in poor conditions. Chimney should be evaluated & cleaned and chimney contractor advise on all repairs/replacements. See heating section comments; drafting & vents. Recommend signage on garage building to deter trespassing; beer bottle(s) found on roof & in the drainage hole for the PVC piping. Gutters or drainage on garage roof was not functioning properly and handyman installation. See examples of photos below of main building and garage.

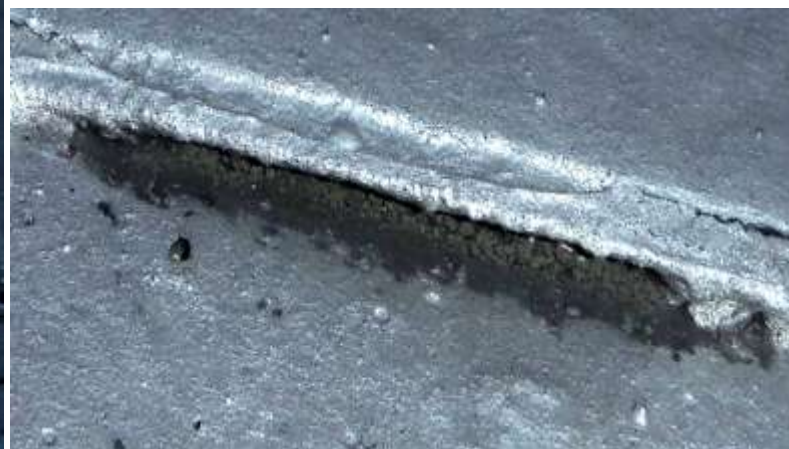
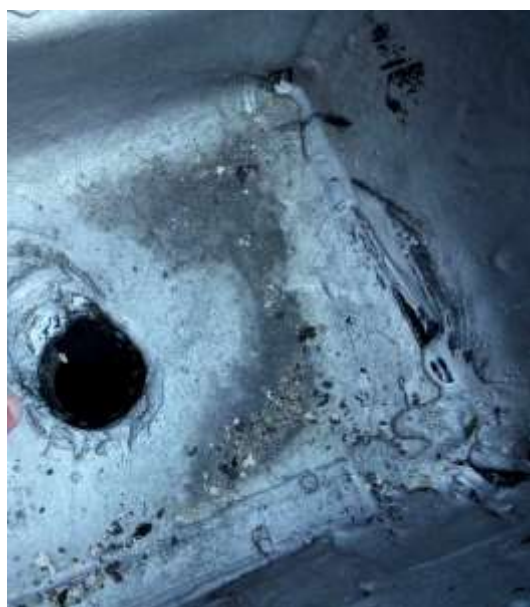
CONCERNS:

1. **Have a commercial roofer evaluate the main building & garage roofs for roof repairs/replacements, flashings/plumbing vents/chimney, skylight, gutters/drainage, etc. before closing. Roofs had tarring, active leaking and in marginal to poor conditions.**

Garage: random photos.



Figure 2 Beer bottle(s) found on roof and one stuck in the drainage hole for the handyman PVC piping.





Main Building: random photos.





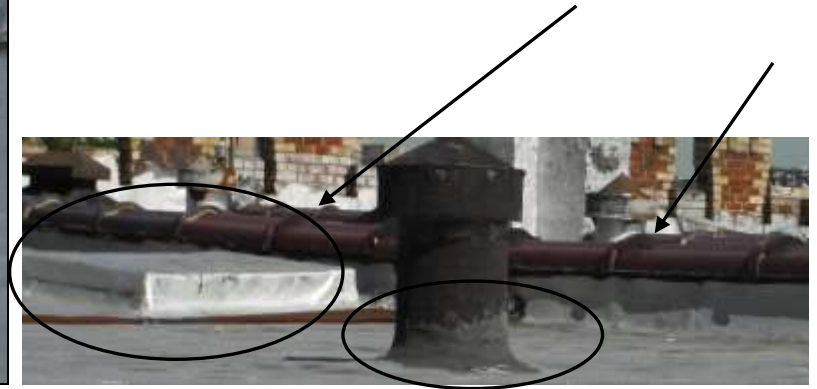


Figure 3 Tarred over roof penetrations; unconventional handyman.



Figure 4 Poor roof conditions; lower main roof (view from apartment window).



Figure 5 Tarred skylight. flaked paint, water stains; have roofer evaluate along with roof.

CHIMNEY/GUTTERS/SIDING/TRIM

- CHIMNEY(S)** None Location(s): **not visible- limited access & view**
- Viewed From:** Roof Ladder at eaves Ground with binoculars
- Note:** Chimney inspection is very limited during a home/building inspection. Sections at top, cap, liners are often not visible. Level II chimney inspection is always recommended prior to closing to fully inspect the chimney.
- Rain Cap/Spark Arrestor:** Yes No **Recommended**
- Chase:** not visible Appears to be a tarred chimney- inaccessible from ladder top
- Evidence of:** Holes in metal Cracked chimney cap Loose mortar joints Flaking Loose Brick Rust
- Flue/Liner:** Tile Metal **Unlined** Not visible
- Evidence of:** Scaling Cracks Creosote **Not evaluated (See remarks page)**
- Have flue(s) cleaned and re-evaluated** **Recommend Cricket/Saddle/Flashing**
- Condition:** Poor- much of the roof top components have been tarred over- see roofing section comments

GUTTERS/SCUPPERS/EAVES TROUGH

Dirty, clogged or poorly maintained gutters will cause leaks into interior or behind walls. Clean often and checked frequently.

Needs to be cleaned yearly or more often **Downspouts disconnected, missing or modified**

- Material:** not visible/inaccessible areas **Other- handyman**
- Condition:** Satisfactory Marginal Poor **Rusting**
- Leaking:** roof drainage systems not functioning properly **Improper, inadequate roof drainage on buildings**
- Attachment:** Loose **Missing spikes** **Improperly sloped (See remarks page)**
- Extension needed:** Have all gutters evaluated/replaced- not functioning & poor condition

SIDING

(*See remarks page EIFS)

- Material:** **Brick siding** **Brick flakes, delaminated, water damage**
- Buckling/bowed/separation (view from apartment window) **Cracks**
- Patched/Tarred siding & window frames **Buckled/water damaged**

Note- Concealed behind Siding : Siding cannot be removed during a home inspection; invasive. There is always a chance of concealed water and/or wood destroying insect damage behind gutters, siding, trim, rake boards and fascia. This cannot be determined during a visual non-invasive home inspection. Mold can also be concealed and not visible.

- Condition:** Satisfactory **Marginal** **Poor** **Recommend repairs immediately**

TRIM, SOFFIT, FASCIA, FLASHING

- Material:** Wood Trim on top of building exposed and water damage or rot Stucco
- Recommend repair/painting** **Damaged wood** Metal/vinyl Other

Note: Often concealed water damage or rot can be concealed behind gutters on fascia or soffits. Monitor areas and address repairs as needed. Dirty gutters will spill over and cause damage often concealed, on fascia, trim, siding or interior; clean regularly.

- Condition:** Satisfactory Marginal Poor- repair all wood trim where needed

CAULKING

- Condition:** Satisfactory Marginal Poor
- Recommend around windows/doors/masonry ledges/corners/utility penetrations as needed**

WINDOWS & SCREENS

- Failed/fogged insulated glass**
- Material:** Wood Metal Vinyl Aluminum/Vinyl Clad
- Screens:** Torn Bent Not installed Glazing/caulk needed
- Condition:** Satisfactory Marginal Poor **Wood rot** **Recommend repair/painting**

- STORMS WINDOWS** None Not installed Wood Clad comb. Wood/metal comb.

- SLAB-ON-GRADE/FOUNDATION** N/A (See Basement/Crawl Space)

GENERAL COMMENTS

CHIMNEY/GUTTERS/SIDING/TRIM: Gutters on main building and garage were not installed properly and not functioning properly. Recommend having gutters replaced and extend away from building or discharge as required by the township. See garage section comments. All chimneys will need repairs and or linings at some point(s) in their life. Proper maintenance and cleanings are extremely important for fire and life safety as well as maintaining the structural integrity of chimney and or fireplace if present. It is strongly recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes/buildings to avoid costly repairs and ensure life safety. There were oil lines visible in basement. Recommend a property tank sweep to rule out any possibility of buried oil tank on property before closing. Building is very old and venting on basement appliances were not installed properly. See heating & plumbing sections. Recommend having chimney cleaned/evaluate/Level II chimney inspection before closing. There was exposed wood trim on main building; have evaluated/repared. There was brick damage, cracked, bowing/buckled, deterioration, water damaged, movement, chipped/flaked, enclosed windows and modified windows in rear, tarred brick walls & window frames, etc. Recommend a siding contractor and structural building contractor evaluate all damage and make repairs. The garage had structural cracks (steps, vertical, horizontal) and missing bricks on columns. See garage section comments. Have a contractor seal up all open holes, remove old vents/blowers/abandoned equipment and replace broken vents where still in use. There was old dried up expansion spray foam around openings or vents; improper sealants. Recommend removal and properly repairing all openings. There was a shed roof on rear right neighbor that joins the side of building; possible a walkout or shed. This roof is easily accessed from this property and the retaining wall. Recommend a safety grate across the two building where the shed roof ends for safety. If anyone or a child climbs this roof the drop off goes to an inaccessible alley below; dangerous! There was no visible access to the area below drop off. There was debris and trash in the alley below; recommend removal. The right side of building was inaccessible; view from ladder on shed top only. Recommend a structural contractor or professional (engineer, builder, etc.) evaluate the structural damage to the building and garage. See basement section comments; sloped flooring, etc.

CONCERNS:

1. Have gutters installed properly by gutter contractor and have roofs evaluated for repairs/replacements. There was active leaking in apartment, building and garage.
2. There was exposed wood trim on main building; have evaluated/repared. There was brick damage, cracked, bowing, deterioration, chipped/flaked, enclosed windows and modified windows in rear, etc. There was structural damage on detached garage; see garage section comments. Have a contractor seal up all open holes, remove old vents/blowers/abandoned equipment and replace broken vents where still in use. Recommend a structural contractor or professional (engineer, builder, etc.) evaluate the structural damage to the building and garage. See garage section; structure damage. See basement section comments; sloped flooring, etc.
3. There was a shed roof on rear right neighbor that joins the side of building; possible a walkout or shed roof? This roof is easily accessed from this property and the retaining wall. Recommend a safety grate/fence/railing across the two building where the shed roof ends for safety. If anyone or a child climbs this roof the drop off goes to an inaccessible alley below; dangerous! See Appendix for examples of safety railings or grilles.
4. Recommend a chimney contractor evaluate chimney & flues as per Level II National Fire Safety Standard NFPA211. Building is very old and venting on basement appliances were not installed properly. Have a licensed plumber and chimney contractor evaluate appliances for proper venting and number of allowed appliances per flue as per Local Township. See heating & plumbing sections.
5. There were oil lines visible in basement. Recommend a property tank sweep to rule out any possibility of buried oil tank on property before closing.



Figure 6 Exposed wood trim on top of building; have contractor evaluate/repair.



Figure 7 Two windows in rear were modified to make room for an A/C through wall unit and a vent. The right window was bricked up and a vent installed. Have a contractor seal up all open holes, remove old vents/blowers/abandoned equipment and replace broken vents where still in use.



Figure 8 Brick damage; flaked, chipped, delaminated, water damage, efflorescence, cracks, etc.

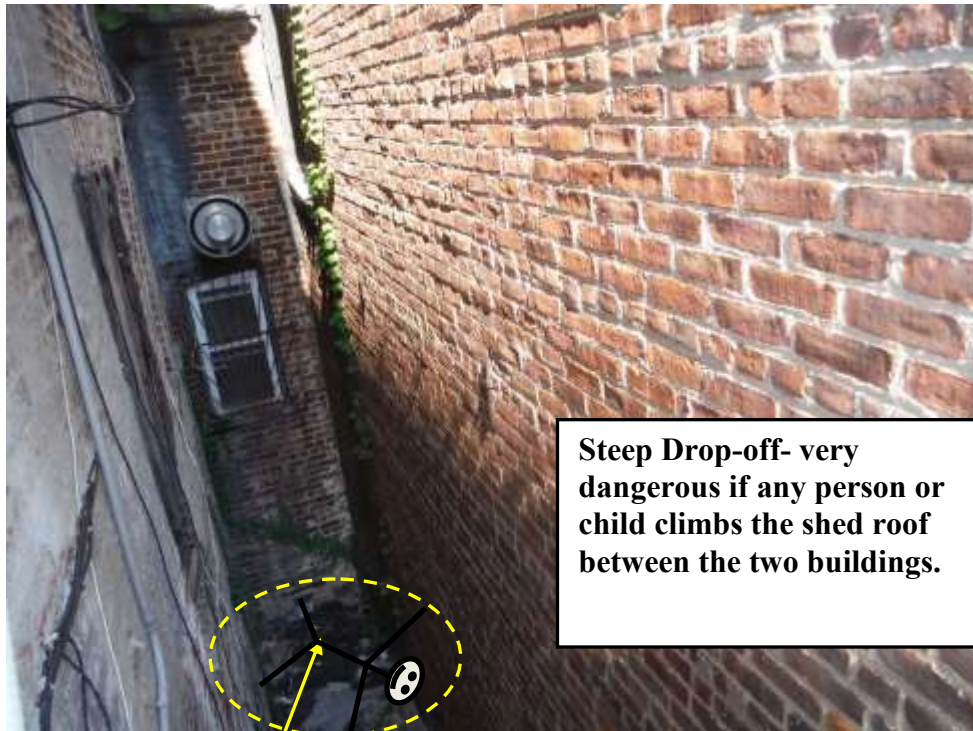


Figure 9 Steep drop-off as viewed on top of the shed roof between the two buildings; very dangerous!

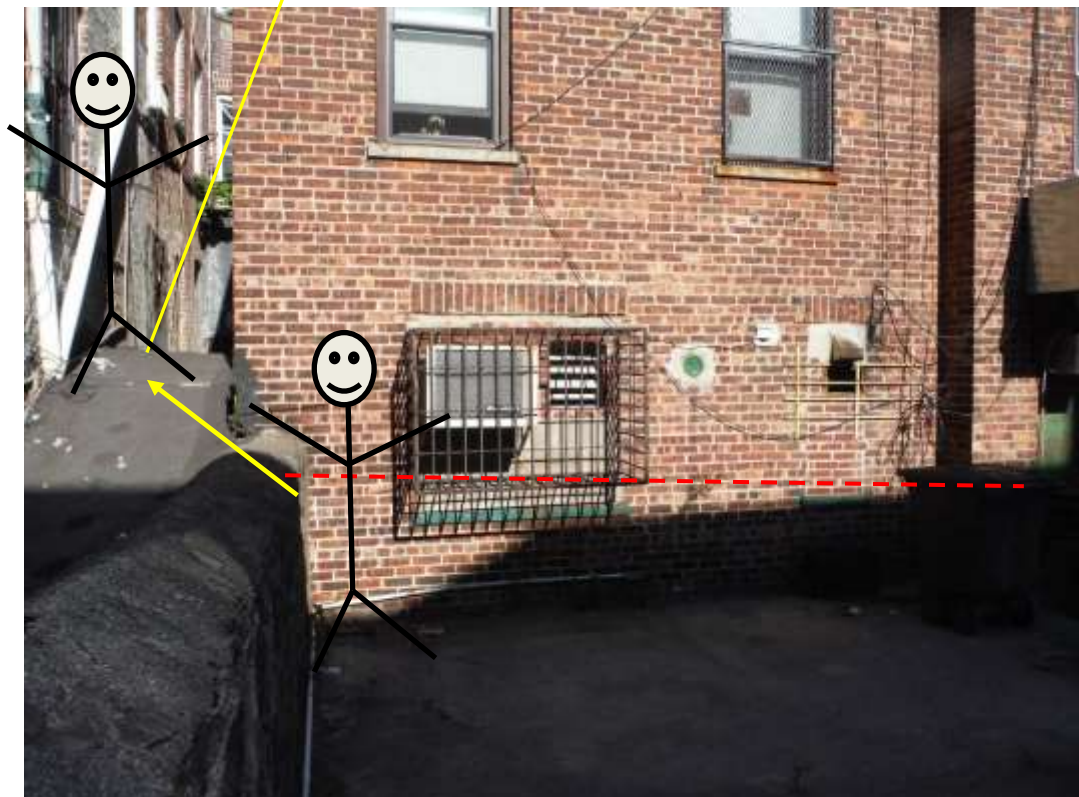


Figure 10 Notice the height of the garbage can to the retaining wall. The wall can easily be climbed and the shed roof walked upon. The shed roof is above a very steep drop off below; fall hazard & very dangerous. Recommend a tall grille, grate, fencing or railing on the shed roof between the buildings. See Appendix for examples of railings or safety grilles.



Figure 11 Structural cracks, rot on adjacent shed roof between buildings. Water entering cracks and damaged shed roof/structure. Have a structural contractor evaluate extent of damage and responsibilities of properties.



Figure 12 Siding steps cracks, movement.



Figure 13 Buckled siding and tarred window & brick; view from apartment bathroom window. Right side of main building was inaccessible.



EXTERIOR/ELECTRICAL/AC/HEAT PUMP/GARAGE**SERVICE ENTRY**

- Underground Overhead *Weather head/mast needs repair* Condition: Sat. Marginal Poor
 Exterior outlets: Yes No Operative: Yes No *Overhead wires too low*
 GFCI present: Yes No Operative: Yes No *Less than 3' from balcony/deck/windows*
 Reverse polarity *Open ground* *Safety Hazard*

BUILDING(S) EXTERIOR WALL CONSTRUCTION

- Type: Not visible, inside walls Framed Masonry Other
 Condition: Satisfactory, overall exterior Marginal Poor Not visible inside walls

EXTERIOR DOORS

- Patio Storm Entrance**
 Weather-stripping: Satisfactory Marginal Poor Missing Replace
 Door Condition: Satisfactory Marginal/ Poor

EXTERIOR A/C - HEAT PUMP Location(s): N/A

- Unit #1 Brand: -- Outside shutoff: Yes No Unit #2 Brand: --- Outside shutoff: Yes No
 Condition: Satisfactory Marginal Poor Rusted Level: Yes No
 Cabinet/housing rusted Condenser Fins: Damaged Need cleaning Damaged base/pad

GARAGE

- None Attached Detached 1-car 2nd right garage side was enclosed and a man door added**
 Automatic Opener: Yes No Operable Inoperable Remote not available
 Safety Reverse Operable: N/A Pressure reverse Electric eye Safety hazard
 Roofing Material: Same as house
 Gutters : None Satisfactory Marginal Poor
 Siding: Masonry Wood Metal Vinyl
 Trim: Same as house Wood- poor Aluminum Vinyl
 Floor : Material: Concrete Inaccessible due to storage everywhere- check when removed before closing
 Condition: repairs needed *Large settling cracks* *Recommend evaluation/repair*
 Burners less than 18" above garage floor: N/A Yes No Safety hazard
 Sill Plates : Not visible Floor level Elevated *Rotted/Damaged* *Recommend repair*
 Overhead doors: **Metal roll type** Metal *Recommend repair*
 Satisfactory Marginal Poor *Overhead door hardware loose* Other
 Recommend Painting Inside & Edges: Yes No Recommend lubrication Weather-stripping missing/damaged
 Exterior Service Door: None Satisfactory Marginal Poor Damaged/Rusted
 Electricity Present: Yes No Not visible GFCI Present: Yes No **Operates: No Power**
Reverse polarity: Yes No Open ground: Yes No *Safety hazard*
 Handyman/extension cord wiring
 Firewall (*Between garage & living area*) : N/A Detached garage *Missing*
 Satisfactory *Safety hazard(s)* *Recommend repair* *Holes walls/ceiling*
Fire door: Not verifiable *Not a fire door* *Needs repair* Satisfactory
 N/A Satisfactory Inoperative Missing *Needs repair*
Moisture Stains Present: Yes *Leaking/wet- walls, floor & water stains on roof sheathing*
 Typical Cracks: Yes No

GENERAL COMMENTS

EXTERIOR/ELECTRICAL/A/C/HEAT PUMP/GARAGE: The electric in garage did not work; lighting and outlets had no power. Have a licensed electrician evaluate the power to garage and make repairs. Recommend GFCI protection and proper conduit to garage for safety. There was a partial view of a disconnect in left side where the liquor stored; inaccessible. There was storage & clutter in both garages; inaccessible. Check all areas when removed before closing. There was an open vent for a basement fan/blower no longer working or in use. Have equipment removed and properly seal up the hole in the rear foundation wall. There was a bathroom fan with broken or missing louvers on exterior; have replaced. There was no access to the right side of building as well as rear of garage. See "siding" section comment; danger where drop-off in right alley. There was a significant amount of mice droppings in the garage; holes, cracks and gaps exist on structure for their entrance. Structural repairs must be evaluated, extent determined and repairs made to correct damage and seal all holes. There was carpenter ant frass in garage on floor or around door. Have a licensed Pest Company treat for carpenter ant/wood destroying insects and rodents. See separate NPMA-33 report. There was daylight coming through walls, around the doors, and roof drain. Roof drainage was poor and a small PVC handyman drain added on roof. There were gaps on seams, cracks on parapet wall coping, etc. Have a roofer evaluate roof and roof drainage and make repairs/corrections. Have a roofer evaluate the roof and roof drainage; see roofing & gutter section comments. The down spout in front was disconnected or abandoned and a very small PVC drain added & passes through the interior garage; handyman. Roof may have been reroofed and/ or repaired in past few years. There were tarred roofing, gaps on seams, cracks on parapet wall/coping, soft areas on roofing and inadequate drainage. Have a qualified commercial roofer evaluate roof and advise on all repairs and roof drainage. Obtain all closed permits for roof installation and any warranty from roofer. There was beer bottles on garage roof. Recommend signage on rear and sides of garage for trespassing and deter minors from climbing the roof and fencing or grilles to deter trespassing. See "roofing" section comments. There were rotted/corroded door lintels, failed lintels not supported/damaged, sagging doors, improperly framed man-door where right garage door sealed up with concrete blocks, missing brick on columns, cracked walls/columns/movement, cracks on parapet walls, water stains/rot on roof sheathing and down foundation walls, etc. The walls had a mix of clay brick and concrete blocks; the latter may have been part of repairs or added walls after time of build. There was leaking into the garages; efflorescence and water stains on foundation walls. Floor and roof sheathing. There were patched/cemented walls, movement, separations, gaps, water damaged, etc.; structure compromised/damaged. Recommend a building contractor qualified in structural repairs or other structural contractor or professional (engineer, structural/foundation repair contractor, structural mason, etc.) evaluate all structural & water damage of the two garages and advise on all repairs. Discuss options of repairs and replacements and costs associated with restoration of structures. Obtain all local permits for repairs & replacements and only used licensed or registered contractors with proven history of good workmanship, good reputation and understanding of their trades. There was structural damage on main building as well as sloped flooring/structural concerns. See basement section, apartment & store comments. There were old, loose floor grates on floor(s); dirt below/not a functioning drain.

CONCERNS:

1. **The electric in garage did not work; lighting and outlets had no power. Have a licensed electrician evaluate the power to garage and make repairs. Recommend GFCI protection and proper conduit to garage for safety.**
2. **Recommend signage on the garage exterior and rear; beer bottles found on roof. Deter minors from climbing in rear onto roof for safety. See Appendix section for examples of signage. See "Siding" section comments-dangerous drop off between the main building & neighbor.**
3. **There were structural concerns on the detached garage; cracks on walls, floor, parapet wall, water stains/Structure damage (walls, columns, failed lintels), etc. Have a structural contractor, builder or engineer evaluate and advise on building repair/replacement before closing. Improper roof drainage causing water damage to structure (see #4 below).**
4. **Numerous holes and gaps exist on the two garages where insects, rodents or animals can enter the garages. All structural repairs must be evaluated & extent of repairs determined and made by a structural contractor. Have a licensed Pest Company treat for carpenter ant/wood destroying insects and rodents. See separate NPMA-33 report. Check all areas when storage removed and structures accessible.**
5. **Roof may have been reroofed and/ or repaired in past few years. There were tarred roofing, gaps on seams, cracks on parapet wall/coping, soft areas on roofing and inadequate or poor drainage. Have a qualified commercial roofer evaluate roof and advise on all repairs and roof drainage. Obtain all closed permits for roof installation and any warranty from roofer.**



Figure 14 Left garage had roll type overhead door. The right door was blocked up and a man door installed. Both sides were filled with inventory; inaccessible.



Figure 15 Water stains on roof sheathing.



This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

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Figure 16 There was water damage to structure (walls, columns, roof sheathing) and a small PVC pipe installed from roof into garage and out the bottom of door. The drainage is too small/inadequate and handyman installation.

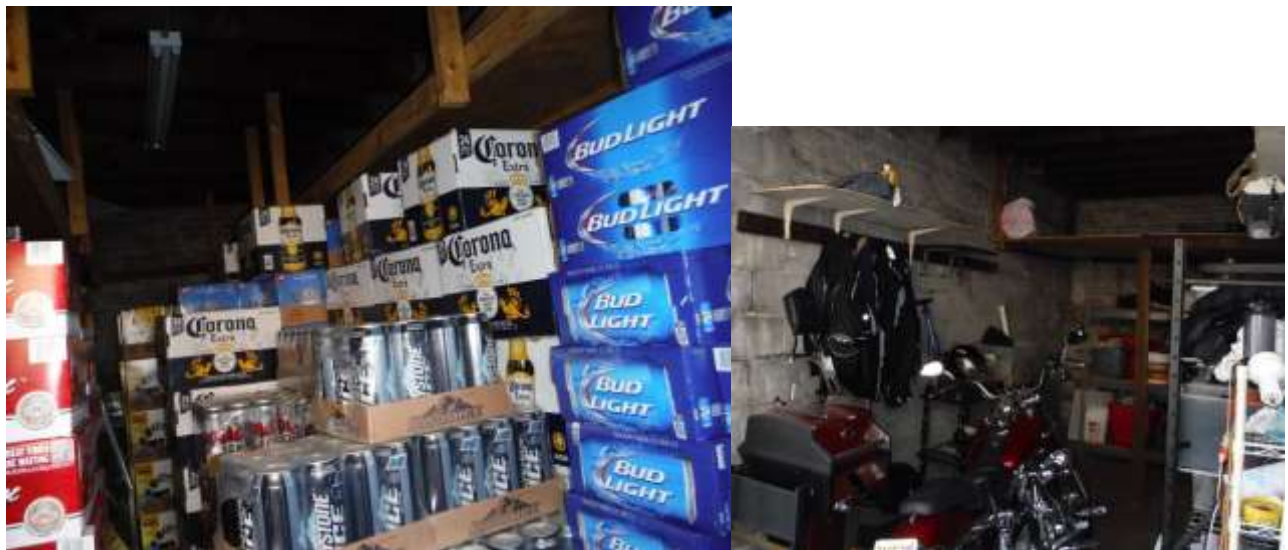


Figure 17 Storage in both garages; inaccessible. Check all garages when storage removed before closing.

APARTMENT**KITCHEN****COUNTERTOPS**

Satisfactory Marginal- damage/hot marks *Recommend repair/caulking*

CABINETS

Satisfactory Marginal *Recommend repair/adjustment*

Note: Counter tops, cabinets or other storage built in products vary in quality, construction, manufacturer and brand. Low quality materials such as press board or particle board type products will sag, bow, glue separation, split have separations between units, counter tops and back splashes. This is especially true when items such as microwave, heavy cookware and other counter top appliances are placed on the shelves and counter tops. They will stress the material, often fall apart and become unglued. It is not the inspector's responsibility to judge them, inspect quality or predict their life or resulting product breakdown. This material and similar composite materials is lower quality and will have problems or negative issues. They often result in loose hardware, splits and cracks due to the low product quality. If the material becomes moist or wet it will swell, split, break down and fail. *If you have concerns about your quality of fixtures, brands, manufacturer, appliances, cabinets, counter tops, and other installed products, address them before closing with the selling party. Check all paperwork, manuals and other product literature for specifications, design, construction and warranty.*

PLUMBING COMMENTS

Faucet Leaks: Yes No **Pipes leak/corroded:** Yes No
Sink/Faucet: Satisfactory Corroded Chipped Cracked *Recommend repair*
Functional Drainage: Adequate Poor **Functional Flow:** Adequate Poor
Hot water: Yes No **Cold water:** Yes No

WALLS & CEILING

Condition: Satisfactory Marginal Poor Typical cracks *Moisture stains*

HEATING / COOLING SOURCE

Yes No

FLOOR

Condition: Satisfactory Marginal Poor Sloping Squeaks

APPLIANCES *

(See remarks page) Appliances are NOT GUARANTEED & only tested as found condition at time of inspection (Snap Shot); obtain a Home Warranty from Realtors office or private source to cover appliances. Always check under refrigerators and dishwashers for leaks, damage & mold before closing. Contents of home not manipulated and moved in a visual home inspection.

Disposal Operates: Yes No Oven/Range Operates: Yes No
 Dishwasher Operates: Yes No
Dishwasher Air gap: Yes No N/A **Dishwasher Drain Line Looped:** Yes No Not visible
Outlets Present: Yes No Operable: Yes No
G.F.C.I.: Yes No Operable: Yes No

Open ground/Reverse polarity within 6' of water: Yes No *Potential safety hazard(s)*

NOTE: The Consumer Product Safety Commission, using estimates from 2006 through 2008, says that major appliances caused more than 150,000 residential fires each year, resulting in 3,670 injuries, 150 deaths, and \$547 million dollars in property damage. Go to (<http://www.consumerreports.org>) to see recent recalls.

*** Pursuant to 13:40-15.16 Standards of practice**

l) When inspecting the interior of a residential building, a home inspector shall:

1. Inspect:

v. Household appliances limited to:

- (1) The kitchen range and oven to determine operation of burners or heating elements excluding microwave ovens and the operation of self-cleaning cycles and appliance timers and thermostats;
- (2) Dishwasher to determine water supply and drainage; and
- (3) Garbage disposer

GENERAL COMMENTS

KITCHEN: Frame out the bottom shelf; damaged from water or past leaking. The drain connections were loose; have plumber evaluate and tighten all connections to avoid leaks. Recommend a carpenter replace the bottom shelf. Any darkening or staining should be checked for mold & mildew and properly cleaned. Replace the stove vent charcoal filter as needed; ventless unit over stove can cause greasy surfaces. There was sloped flooring, canted walls, doorways, windows; see basement section structural comments. The doors were sticking on tops or around frames; have sanded or shaved. There were active leaks in upper hallway on walls and around skylight over staircase. There were active leaks in interior rooms of apartment. See roofing section comments. The refrigerator was unplugged or not running. Recommend upgrading refrigerator; old and not energy efficient. Caulk around sink fixture, back splash, junctures to maintain water tight seals; visible water stains or leaking inside the cabinet and underside of counter top. Check maximum wattage for light over stove; burn or scorch marks visible. Water stains on air vent on radiators in apartment. Have all radiators and distribution piping/connections checked when boiler turned on and tested before closing. See heating section comments. The GFCI outlet had open ground. Have electrician evaluate and repair for safety. Have all outlets upgraded and grounded in home. Recommend tamper resistant outlets for safety and especially if small children in home.

CONCERNS:

1. Have qualified commercial roofer evaluate the roof & drainage systems; active leaking observed in the apartment interior rooms, closets and hallway.
2. Caulk around sink fixture, back splash, junctures to maintain water tight seals; visible water stains or leaking inside the cabinet and underside of counter top. The drain connections were loose; have plumber evaluate and tighten all connections to avoid leaks. Recommend a carpenter replace the bottom shelf. Any darkening or staining should be checked for mold & mildew and properly cleaned.



Figure 18 Active moisture detected in apartment rooms, closets and hallway.

LAUNDRY ROOM

ROOM COMPONENTS

Laundry sink: N/A **Faucet leaks:** Yes No **Pipes leak:** Yes No
Hot water: Yes No **Cold water:** Yes No
Cross connections: Yes No/not visible **Heat source present:** Yes No **Room vented:** Yes No
Dryer vented: N/A Wall Ceiling Floor Not vented
 Not vented to Exterior *Recommend repair* *Safety hazard*
Electrical: Open ground/reverse polarity within 6' of water: Yes No
 Safety hazard- electrical in basement
G.F.C.I. present: Yes No **Operates:** Yes No
Appliances: Washer Brand: Dryer Brand: Water heater Furnace Cluttered
 Always check under washer & dryer for water damage and mold before closing; contents not manipulated or moved in a visual inspection.
 Note: Testing/inspecting washer and dryer is not part of New Jersey home inspection.
Washer hook-up lines/valves: Leaking Corroded Not visible
Gas Shut-off Valve: N/A Yes No Cap Needed Safety hazard Not visible
Electrical Set-up: N/A Yes No

GENERAL COMMENTS

LAUNDRY BASEMENT: There were no appliances in basement or apartment. There was a laundry sink in basement; improperly plumbed to a handyman sump pit that goes to the nearest sewer pipe in basement. This is not a proper sewer ejector pump (that has sealed cover). The drain connections or plumbing was leaking onto floor. Recommend a licensed plumber evaluate sink and make all plumbing repairs/corrections. Recommend a laundry sink with direct under mount ejector pump. The left or hot water handle had no water when turned on; have plumber evaluate sink and fixture.

BATHROOMS

BATH: ½ BATH STORE

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No
Loose: Yes No
Pipes leak: Yes No
Fixture(s) Condition: Satisfactory Marginal
 Poor- slow drainage
Hot water: Yes No
Cold water: Yes No

TOILET

Bowl Loose: Yes No
Operates: Yes No
 Toilet leaks
 Cracked bowl/tank
 Cross connection

WALLS / CEILING / CABINETS

Moisture stains present: Yes No
Outlets present: Yes No
G.F.C.I. Present: Yes No
Operates: Yes No
Open ground/Reverse polarity within 6' of water: Yes No
Potential safety hazards present: Yes No

HEATING / COOLING SOURCE

Yes
 No- have evaluated for heating source**
Window/Door: Yes No
 Satisfactory
 Marginal
 Poor
Exhaust Fan: Yes No
Operates: Too noisy in store front room to verify- have checked by electrician of not working
Noisy: Yes No

GENERAL COMMENTS

1/2 BATH STORE: The flooring was very sloped; structural concerns. See basement section comment. Unable to detect of fan working with noise from refrigeration and activity in the store. Replace broken louver for bathroom fan on exterior. Check fan when no noise in the store. If not running, have a licensed electrician evaluate/repair fan. There was a louver vent on exterior with missing slats. If this vent cover is for the bath fan, have replaced to keep out birds or animals. Recommend having a boiler contractor or electrician evaluate bathroom for heating source; none visible. There are electric 220V oil filled radiators with thermostats among other types on market; check all heating options with contractors. All bathrooms should be heated or where there is plumbing to avoid freeze damage and leaking/flooding.** There was slow drainage; have plumber evaluate drains in building; see plumbing section comments.

CONCERNS:

1. Recommend a structural carpenter evaluate sloped flooring in bathroom. There were structural concerns in the building; see basement section comments.
2. All bathrooms should be heated or where there is plumbing to avoid freeze damage and leaking/flooding.** Have plumber evaluate slow drainage in building; see plumbing section comments.



Figure 19 Have plumber evaluate slow drainage in building; see plumbing section comments.

MAIN BATH: APARTMENT

SINKS / TUBS / SHOWERS

Faucet leaks: Yes No Loose: Yes No Pipes leak: Yes No
 Fixture(s) Condition: Satisfactory Marginal Poor
 Hot water: Yes No Cold water: Yes No

TOILET

Bowl Loose: Yes No Operates: Yes No Toilet leaks Cracked bowl/tank Cross connection

SHOWER / TUB AREA / SINK(S)

Material: Ceramic/Plastic** Fiberglass Masonite Other
 Condition: Satisfactory Marginal Poor Rotted floors
 Caulk/Grouting Needed: Yes No Where: all junctures as needed
 Functional Drainage: marginal See plumbing section Functional Flow: Adequate Poor
 Whirlpool Operable: N/A Yes No Access panel to pump/motor: Yes No

Frameless shower doors can shatter or break when coming in contact with other hard objects. Use with caution.

WALLS / CEILING / CABINETS

Moisture stains present: Yes No Outlets present: Yes No
 G.F.C.I. present: Yes No Operates: Yes No
 Open ground/Reverse polarity within 6' of water: Yes No Potential safety hazards present: Yes No

HEAT / COOLING SOURCE

Yes No
 Window/Door: Yes No Satisfactory Marginal Poor
 Exhaust Fan: Yes No Operates: Yes No Noisy: Yes No

GENERAL COMMENTS

MAIN BATH: Recommend upgrading older plumbing and gate valves to avoid leaks and for quick shutoff in an emergency. Gate valves tend to corrode, leak and are difficult to operate as they age. The GFCI had open ground; not tripping and not safe. Have a licensed electrician evaluate and make repairs. Tub had deflection or lower quality tub; monitor all tub/wall junctures for cracked caulk.** Caulk all junctures as needed to ensure water tight seals. Unknown where bathroom fan terminates; right side of building was inaccessible.

CONCERNS:

1. Recommend a licensed electrician evaluate the GFCI outlet and make repairs; ungrounded/unsafe.

#1 BEDROOM REAR

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Floor: Satisfactory Marginal Poor No Where: walls, floor, closets, ceiling
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: difficult to operate** Broken Vapor Seals : Yes No N/A
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

MASTER BEDROOM: Recommend child grilles on all windows for safety; see window section comments.** There are sloped flooring/walls/doors/windows, moisture on flooring & walls, etc. The stick down floor tiles curled, tarred or lifted; indicative of moisture. Have a qualified roofer evaluate roof, roof drainage/gutters and exterior for all water sources and advise on repairs.

CONCERNS:

1. Recommend child grilles on all windows for safety; see window section comments.**
2. Have a qualified roofer evaluate roof, roof drainage/gutters and exterior for all water sources and advise on repairs. There was active moisture detected in the interior rooms.

EXAMPLES OF WET/MOISTURE/FLAKED PAINT:





Figure 20 Random checking on inner wall where dry.



Figure 21 Soft/rot/depressions on floor where lifted or loose tiles. Tared or sticky glue/tar on all seams on flooring.

LIVING ROOM CENTER

LOCATION: FRONT CENTER

Walls & Ceiling:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	
	Moisture stains:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Where: ceiling/wall
Floor:	<input type="checkbox"/> Satisfactory	<input checked="" type="checkbox"/> Marginal	<input type="checkbox"/> Poor	<input checked="" type="checkbox"/> Squeaks <input checked="" type="checkbox"/> Slopes
	Typical cracks:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
Ceiling Fan:	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> Satisfactory	<input type="checkbox"/> Marginal	<input type="checkbox"/> Poor
Electrical:	Switches: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Outlets: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No Operates: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Open ground/Reverse polarity:	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Cover plates missing <input checked="" type="checkbox"/> Safety Hazard
Heating/Cooling Source:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Holes:	<input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress Restricted:	<input type="checkbox"/> N/A	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Doors & Windows:	Operational: <input checked="" type="checkbox"/> See window section comments	Broken Vapor Seals : <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	Locks/Latches Operable: <input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Missing	<input type="checkbox"/> Cracked Glass

GENERAL COMMENTS

LIVING ROOM CENTER: There was added outlets and holes around outlets; have a contractor repair all holes in walls. Have electrician repair loose/hanging outlets and add covers in home where needed for safety. Recommend tamper resistant outlets for added safety. Doors sticking in home; canted doorways, sloped flooring. Flooring in home and below in store front were sloped; see basement section structural comments. See roofing section comments; water stains & leaks observed in the apartment. There was bowed/buckled siding & tarred/canted window as viewed from window in this room and the bathroom. See siding section comments. Windows in home were older; see window section comments.

CONCERNS:

1. There were structural concerns in home and building; see basement section comments.
2. Have a licensed electrician evaluate all outlets/devices and make repairs; unsafe conditions in home.
3. See roofing section comments; water stains & leaks observed in the apartment.
4. There was bowed siding, tarred & canted windows as viewed from apartment window. See siding section comments.



Figure 22 Example of electrical hazards in home.

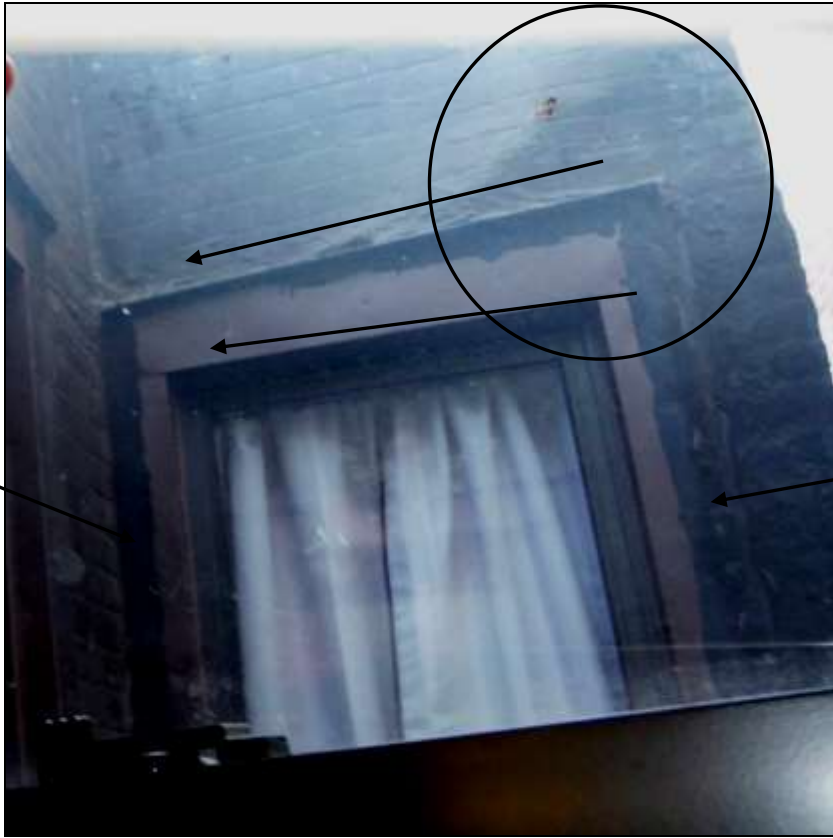


Figure 23 Buckled siding, canted windows, and tarring as viewed from apartment window.

#2 BEDROOM FRONT

LOCATION: FRONT

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes **Where: water stains, flaked paint ceiling & wall**
Floor: Satisfactory Marginal Poor Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: see window section comments Broken Vapor Seals : Yes No
 Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

#2 BEDROOM FRONT: Windows in home and building are older; see window section comments. There were water stains on ceiling/walls and flaked paint; see roofing section comments. See structural & basement section comments; sloping floors in building.

CONCERNS:

1. There were water stains/leaks on ceiling/walls; see roofing section comments.
2. See structural & basement section comments; sloping floors in building.



Figure 24 Flakes paint around ceiling water stains/leak; see roofing section comments.

STORE FRONT ROOM

LOCATION:

Walls & Ceiling: Satisfactory Marginal Poor
Moisture stains: Yes No Where:
Floor: A lot of weight on first floor** Marginal Poor-deflection Squeaks Slopes
Typical cracks: Yes No
Ceiling Fan: N/A Satisfactory Marginal Poor
Electrical: **Switches:** Yes No **Outlets:** Yes No **Operates:** Yes No
Open ground/Reverse polarity: Yes No Cover plates missing Safety Hazard
Heating/Cooling Source: Yes* No **Holes:** Doors Walls Ceilings
Bedroom Egress Restricted: N/A Yes No
Doors & Windows: Operational: Yes No Broken Vapor Seals: Yes No N/A
Locks/Latches Operable: Yes No Missing Cracked Glass

GENERAL COMMENTS

STORE FRONT ROOM: The store is on the first floor and boxes or inventory everywhere. Recommend consulting with a “commercial store front” designer for ideas to advise on maximizing the space in store (shelving/storage), eliminate sinks or smaller, special relations/flow, reduce noise, heat, clutter, utilize the main floor, basement and garage for the business. See Appendix for examples of shelving and designs. There were two sinks in the store; large and small. The stainless steel multi compartment sink had corrosion on the underside and drain baskets/flanges. The sink was plumbed by unconventional methods and joined to a straight pipe through floor. Recommend a licensed plumber evaluate sink and advise on piping/drains and any special needs such as grease traps, etc. The large sink takes up space and had mops in sink. Consider a utility slop sink on the basement level or in rear of store as a floor and review all needs and space saving with commercial designer. There was a small radiator in front left under electrical panel. There was a large radiator stored in basement; may have been removed form store front. The store was packed with storage, refrigerators, etc. around perimeter; unable to see if other radiators in store. Recommend having boiler turned on and test all rooms to see where heat missing before closing. See heating section comments. Recommend a licensed electrician evaluate store front & building for power requirements; overloaded circuits observed. There was a scorched outlet on right wall; dangerous. There are structural concerns; sloped flooring throughout the building and deficiencies/defects as viewed in basement. Recommend a structural carpenter and/or structural professional evaluate structure and advise on all repairs. Confer with the engineer or qualified structural professional to determine additional supports needed to accommodate the weight on flooring above due to the business’s inventory (bottles of liquor, soda, etc.), refrigeration units, shelving, etc. There is a lot of weight being supported by the older structure which had deficiencies or defects.**

COMMENTS:

1. There was one visible radiator in front left under the electrical panel. Unable to see other(s) due to storage. Have boiler turned on and check for heat in all rooms before closing. If inadequate heating, have boiler contractor evaluate for more heat and options to maximize store front floor space while heating the rooms.
2. Have a licensed plumber evaluate the plumbing & installations in the store and building; unconventional/handyman.
3. Recommend a licensed electrician evaluate store front & building for power requirements; overloaded circuits observed. There was a scorched outlet on right wall; dangerous.
4. There are structural concerns; sloped flooring throughout the building and deficiencies/defects as viewed in basement. Recommend a structural carpenter and/or structural professional evaluate structure and advise on all repairs. Confer with the engineer or qualified structural professional to determine additional supports needed to accommodate the weight on flooring above due to the business’s inventory (bottles of liquor, soda, etc.), refrigeration units, shelving, etc. There is a lot of weight being supported by the older structure which had deficiencies or defects.



WINDOWS/FIREPLACES/HALL/ATTIC**INTERIOR WINDOWS / GLASS**

Condition: Satisfactory Marginal Poor Needs repair- drop on own & difficult to operate

(See remarks page)

Difficult to open/close & lock

Representative number of windows operated Ask if windows under warranty

Evidence of Broken Vapor seals : Yes No N/A Safety Glazing Needed: Yes No

Glazing compound needed Cracked glass Hardware missing Broken counter-balance mechanism

Security Bars Present: No— recommended for safety Yes No Not tested Safety hazard

FIREPLACE None Location(s): ---

Recommend having all flues cleaned and inspect chimney Level II

STAIRS / STEPS / BALCONIES Satisfactory Marginal Poor None

Handrail: Satisfactory Marginal Poor Safety hazard Loose; secure properly

Risers/Treads: Satisfactory Marginal Poor Risers/Treads uneven/unsafe

SMOKE / CARBON MONOXIDE DETECTORS (See remarks page)

Present: Smoke Detector: Yes No Operates: Yes No Not tested

CO Detector: Yes No Operates: Yes No Not tested

Security systems, fire suppression and the like are not part of a home inspection (see contract). Follow up with the provider for these features in home to have them inspected or evaluated.

Not tested; Should be performed by Local/State municipality prior to Occupancy.

ATTIC/STRUCTURE/FRAMING/INSULATION N/A

Access: Stairs Pull down Scuttle hole/Hatch No access Other

Inspected From: Access panel on ladder only In the attic Other

Location: Apartment hallway Bedroom closet Garage Other

Access Limited By: low roof height & no flooring, loose wiring/cables

Flooring: Complete Partial None

Insulation: Type: NONE Batts Loose Average inches: --- Approx. R-rating: Unknown

Damaged Displaced Missing Compressed Recommend Baffles @ Eaves

Installed In: Rafters Walls Between ceiling joists Not visible

Recommend additional insulation

Note: Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service.

Ventilation: Yes No Ventilation appears adequate Recommend additional ventilation

Maximum ventilation is always recommended to avoid shortening life of roof, avoid hot humid conditions conducive to mold growth, condensation/rusted nails/frost on sheathing & rafters, heat build-up, sheathing damage, etc. Discuss ventilation & insulation with a qualified contractor.

Fans Exhausted To: N/A Attic: Yes No Outside: Yes No Not visible

HVAC Duct: N/A Damaged Split Disconnected Leaking Repair/Replace

Chimney Chase: N/A Satisfactory Needs repair Not visible

Structural Problems Observed: Yes rot/water damage sheathing Recommend repair

Roof Structure: Rafters Trusses Wood Metal Other

Collar Ties Present: Yes No N/A

Roof Sheathing: Planking Wood Cedar shingles Rotted Stained Delaminated

Evidence of Condensation/Moisture Leaking: Yes No (See remarks page) Possible Mold whenever there are leaks in home; testing and identification of mold and environmental hazards is NOT part of home inspection. Follow-up with an environmental testing contractor before closing for that type of inspection.

Ceiling Joists: Wood Vapor Barriers: Not visible Improperly installed

Firewall Between Units: N/A Yes No Needs repair/sealing (See remarks page)

Indication of Past fire damage Yes No Recommend checking with Local fire Marshall and Township

Electrical: Open junction box(es) Handyman wiring

Visible knob-and-tube possible in this home due to age & plaster walls Loose wires/live wires

GENERAL COMMENTS

WINDOWS/FIREPLACES/HALL/ATTIC: Recommend a window installer evaluate windows; older and a mix of types. Recommend child safety grilles on apartment windows for safety. Screens will not hold back a child; safety measures recommended before renting. Recommend lead testing for apartment before renting for health safety. Recommend lighting fixture over upper stairs for safety; none present. There was no insulation in attic. There were loose wires or electrical cables in attic; have electrician evaluate all electrical in entire home & building for safety and make repairs. There were active leaks in apartment's interior rooms, closets, hallway and attic. There was darkening on roof sheathing, rot, tarring, possible mold (white or gray substance), poor ventilation and staining. Have a qualified commercial roofer evaluate all roofs and drainage systems, gutters, flashings, siding, trim, etc. and make repairs. Proper chimney maintenance and cleanings are important for fire and life safety as well as maintaining the structural integrity of chimney. It is always recommended to have a Level II (National Fire Safety Standard NFPA211) chimney inspection when changing ownerships and when fuels have been changed from oil to gas in older homes to avoid costly repairs and ensure life safety. Attic height was very low and no flooring; inaccessible (view from adder only). Flooring was sloped in entire building, canted doorways & windows, sticking doors, etc. There were structural concerns; see basement section structural comments. There was original plaster walls & ceilings in home. There were plaster cracks throughout the building; have repaired where needed. Recommend upgrading where possible to drywall & insulation. Insulations in older homes may be very little or non-existent in walls, ceilings, crawl or basement; not visible where finished or inaccessible. It is always recommended to conduct an energy audit with a contractor that provides that service. There was no insulation in attic as viewed from scuttle in hallway. Insulation should only be added with proper ventilation to avoid mold, mildew and condensation. If rooms are upgraded or gutted, be aware of possibility of concealed asbestos since home had plaster walls & ceilings original to home. Often asbestos insulation was used in older homes or buildings on heating pipes. Also knob & tube older wiring can exist behind these plaster walls; see electrical section comments.

CONCERNS:

- 1. Recommend lighting fixture over upper stairs for safety; none present. Have electrician evaluate all loose wiring in attic.**
- 2. There were active leaks in apartment's interior rooms, closets, hallway and attic. There was darkening on roof sheathing, rot, tarring, possible mold (white or gray substance), poor ventilation and staining. Have a qualified commercial roofer evaluate all roofs/structure and drainage systems, gutters, flashings, siding, trim, etc. and make repairs**
- 3. Recommend a window installer evaluate windows; older and a mix of types. Recommend child safety grilles on apartment windows for safety. Screens will not hold back a child; safety measures recommended before renting. Recommend lead testing for apartment before renting for health safety.**



Figure 25 Water stains (fresh) and loose electrical wiring in attic; further evaluate with roofer and electrician.





Figure 26 Cracks, splits, water rot, tarring, active leaks, etc. Have a roofer evaluate roof structure & advise on all roof and structural repairs.

BASEMENT

STAIRS N/A

Condition: Poor Need replacement & a platform- door swinging over steps is a fall hazard- dangerous
Handrail: Yes No **Condition:** Loose
Headway Over Stairs: Satisfactory Low clearance Safety hazard- add railing

FOUNDATION **Condition:** Satisfactory Marginal Limited view- storage, refrigeration, etc.

Material: Brick Concrete block Fieldstone concrete patched/covered, painted

Horizontal Cracks: Not visible **Step Cracks:** Not visible

Vertical Cracks: Not visible **Covered Walls:** Yes- storage, refrigeration, mechanicals, etc.

Movement Apparent: Not visible

Indication of Moisture: Yes Seepage, efflorescence, water stains/drip marks Fresh Old stains

Condition reported above reflects visible portion only

BASEMENT/CRAWL SPACE WALLS

Diagram indicates where wall not visible and type of covering:

P = Paneling

D = Drywall

S = Storage

O = Other

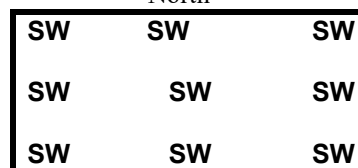
C = Crack(s)

M = Monitor

E = Evaluate

West

North



East

South

FLOOR

Material: Concrete Dirt/Gravel Not visible Other

Condition: Satisfactory Marginal Poor Typical cracks Large cracks Entire basement cluttered

Insulation Comments: All Crawl spaces & basements need to have proper vapor barrier(s), ventilation & insulation (between floor joists). Energy losses are not inspected or identified in a general inspection. Have an Energy audit performed on the home before closing to find areas that need improvement before closing. Contact your local Utility Company for information and Energy Audit contractors.

SEISMIC BOLTS

N/A

BASEMENT DRAINAGE

Indication of moisture: Yes Seepage, rust/water stains, efflorescence Fresh Old stains

Environmental Hazards: Mold, etc. are Not part of a NJ Home Inspection (See Standards of Practice & Pre-Inspection Agreement)

Basements are not intended for legal bedrooms or living spaces unless deemed by Local Township which requires Egress compliant windows among other requirements. Have township code official evaluate any basements for purpose other than mechanicals, electrical and utilities or laundry. Living in a basement may affect overall health and breathing.

Sump Pump: Yes- used for the laundry sink- see plumbing section comments

Tested: Yes No Working Not working Needs cleaning very old

Floor Drains: Yes No seepage, wet Efflorescence present Recommend dehumidifier

Note: Under certain unforeseen weather conditions, future moisture and water infiltration can occur even if a basement has never had moisture in the past. Observing proper grading, drainage, working gutter systems and sump pumps is imperative in helping keep a basement dry. It is strongly recommended to install a Water Management System if not already present to avoid wet or flooded basements as well as mold and structural damage.

GIRDERS / BEAMS / COLUMNS **Material:** Steel Wood Block Concrete Not visible
Condition: Satisfactory Marginal Poor Stained/rusted

JOISTS **Material:** Wood Steel Truss Not visible

Condition: Satisfactory Marginal Poor

(IF CHECKED) Wood destroying insect evidence was present: Sections of insulation/walls or ceilings **must be removed to determine extent damage as per structural carpenter's evaluation. Hidden damage possible. Recommend structural engineer/licensed contractor evaluate and licensed treatment company exterminate prior to closing.**

This confidential report is prepared exclusively for Client on contract for them to rely on and not transferrable.

SUB FLOOR

Indication of moisture stains/rotting ** Areas around shower stalls, etc., as viewed from basement

GENERAL COMMENTS

BASEMENT: The basement door swings over the steps; fall hazard. Recommend a structural carpenter evaluate for a platform and new steps. Steps are weak, loose, sloped and dangerous. Have railings added on steps for safety. There was seepage and signs of wet basement flaked paint, wet walls& floor, powdery mortar and foundations, musty smell, etc. Have wet basement damp proofer contractor evaluate for system(s) to maintain a dry basement. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend a dehumidifier for moisture control as good practice. Have roofer evaluate roof drainage system/gutters. See roofing & gutter section comments. There were sloped flooring in home, canted doorways/window frames, sagging joists, split joists, separated joists & nails, twisted/tilted floor joists, sagging beams, several handyman braces added under flooring in basement, etc. There are structural concerns. Recommend a structural carpenter and/or structural professional evaluate structure and advise on all repairs. Confer with the engineer or qualified structural professional to determine additional supports needed to accommodate the weight on flooring above due to inventory (bottles of liquor, soda, etc.), refrigeration units, shelving, etc. There is a lot of weight being supported by the older structure which had deficiencies or defects. There were water stains/rot on sub flooring; have plumber evaluate all leaks. See plumbing section comments; upgrades needed throughout the building.

CONCERNS:

1. The basement door swings over the steps; fall hazard. Recommend a structural carpenter evaluate for a platform and new steps. Steps are weak, loose, sloped and dangerous. Have railings added on steps for safety.
2. There was seepage and signs of wet basement flaked paint, wet walls& floor, powdery mortar and foundations, musty smell, etc. Have wet basement damp proofer contractor evaluate for system(s) to maintain a dry basement. Recommend observing proper grading and drainage on exterior to avoid water infiltration. Recommend a dehumidifier for moisture control as good practice. Have roofer evaluate roof drainage system/gutters. See roofing & gutter section comments.
3. There were sloped flooring in home, canted doorways/window frames, sagging joists, split joists, separated joists & nails, twisted/tilted floor joists, sagging beams, several handyman braces added under flooring in basement, etc. There are structural concerns. Recommend a structural carpenter and/or structural professional evaluate structure and advise on all repairs. Confer with the engineer or qualified structural professional to determine additional supports needed to accommodate the weight on flooring above due to inventory (bottles of liquor, soda, etc.), refrigeration units, shelving, etc. There is a lot of weight being supported by the older structure which had deficiencies or defects.
4. There were water stains/rot on sub flooring; have plumber evaluate all leaks. See plumbing section comments; upgrades needed throughout the building. Have all water damage/rot repaired along with structural repairs.



Figure 27 Split floor joists as viewed in basement. There were separated joists & nails; concern about weight above in store front.



Figure 28 Example of braces added in basement; handyman. Leaking or water stains on sub flooring under water sources as viewed in basement; see plumbing section comments.

PLUMBING**WATER SERVICE**Main Shut-off Location: **basement**

- All home will have plumbing repairs/upgrades at some point- monitor plumbing**
- Water Entry Piping:** Not visible Copper/Galv. **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown
- Visible Water Distribution Piping:** Copper Galvanized **Plastic*** (PVC, CPVC, Polybutylene, PEX) Unknown
- Condition:** Satisfactory Marginal Poor
- Lead Other Than Solder Joints:** Yes No Unknown Service entry
- Functional Flow:** Adequate Low Poor **Water pressure over 80 psi; high**
- Pipes, Supply/Drain:** **Corroded** **Leaking** **Valves broken/missing** **Dissimilar metal**
- Drain/Waste/Vent Pipe:** **upgrades needed in building** Cast iron Galvanized PVC ABS
- Condition:** Satisfactory Marginal Poor **Cross connection:** Not visible
- Support/Insulation:** Type: ---
- Traps Proper P-Type:** N/A Yes No; some S-type or other **P-traps recommended**
- Functional Drainage:** Adequate Poor **Recommend plumber evaluate**
- Interior Fuel Storage System:** Yes **No- copper oil lines visible in basement**** Leaking: Yes No
- Gas Line:** Copper Brass Black iron Stainless steel Flexible CSST (yellow) Not visible
- Condition:** Satisfactory Marginal Poor

NOTE: T-Valves, ball valves, gate valves or any shut off valves, are not tested in a New Jersey home inspection.

**MAIN FUEL SHUT-OFF LOCATION
FIXTURES IN HOME**

Basement by gas meter

 N/A

All plumbing and upgrades must be installed by licensed plumber and with permits when renovated.

Note: Fixtures in home are not inspected for product brand, quality, manufacturer, expected life or predicted failure. Fixtures are tested for adequate flow, adequate drainage and any noted leaks or corrosion at time of inspection. If brand and life service is a concern, obtain information and warranty from sellers before closing.

WELL PUMP N/A Submersible

Well system and water testing not part of NJ home inspection. Well inspection and water testing should be conducted prior to closing.

SANITARY / GRINDER PUMP N/A

Sealed Crock: Yes No **Check Valve:** Yes **No- recommended** **Vented:** Yes No

WATER HEATER #1 N/A**Condition:** Satisfactory Marginal Poor

- Brand name:** AO Smith
- Type:** Gas Electric Oil Other
- Unit Elevated:** Yes No N/A **Tank/Piping corroded/leaking**
- Capacity:** ~40 gallons **Approximate age:** mfg. date 04-2010 (~4 yrs. old)
- Combustion Air Venting Present:** Yes No N/A **Seismic restraints needed:** Yes No N/A
- Relief Valve:** Yes No **Extension proper:** Yes No **Missing** **Recommend repair**
- Vent Pipe:** **Have venting evaluated by a licensed plumber (hot water heaters & boiler)**
- Improper/unconventional** **Rusted** **Recommend repair**

WATER HEATER #2 N/A**Condition:** Satisfactory Marginal Poor

- Brand name:** AO Smith
- Type:** Gas Electric Oil Other
- Unit Elevated:** Yes No N/A **Tank/Piping corroded/leaking**
- Capacity:** ~40 gallons **Approximate age:** 3-23-2011 (~3 yrs. old)
- Combustion Air Venting Present:** Yes No N/A **Seismic restraints needed:** Yes No N/A
- Relief Valve:** Yes No **Extension proper:** Yes No **Missing** **Recommend repair**
- Vent Pipe:** **Have venting evaluated by a licensed plumber (hot water heaters & boiler)**
- Improper/unconventional** **Rusted** **Recommend repair**

WATER SOFTENER (Unit not evaluated) N/A- recommended when hard water in building- have testedLoop Installed: Yes No Plumbing Hooked Up: Yes NoSoftener Present: Yes No Plumbing Leaking: Yes No

NOTE: Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection in NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection.

GENERAL COMMENTS

PLUMBING: Recommend check valves or back flow preventers on sewer drains. There was a very strong sewer or methane odor in basement; have plumber further evaluate. The sump pump in basement was installed in a large sump or pit for the laundry sink. Recommend a plumber install an auto sensed sump pump/laundry sink combination and not discharge to the sump pit. The cast iron waste pipe was sloped improperly and patched with PVC & rubber couplers; handyman installations or repairs. There was numerous handyman plumbing installations in building, old/corroded/leaking plumbing (piping/drains/valves, etc.), strong methane smell in basement, laundry sink draining to a sump pump, slow drains, abandoned piping, broken valves (water/gas), cutoff piping, improperly vented hot water heaters & boiler, etc. There were water stains/rot on sub flooring; have plumber evaluate all leaks. Have all water damage/rot repaired along with structural repairs. Have a licensed plumber evaluate the plumbing in entire building and advise on all repairs and upgrades. The apartment has been vacant for a few months. Note that fixtures, drains and pipes may clog, leak or back-up when a home is left vacant for a period of time and if there is hard water in home. Homes with hard water will often need a water softener system to avoid damaging mineral buildup or corrosion to plumbing supply lines, drains and fixtures. Confer with a water softener company and plumber if there is hard water in the home. Testing for hard water is not part of an inspection. If a home is left vacant for a period of time, it can clog fixtures resulting in loss of flow, hot or cold water. Toilets, bathrooms, washers, dishwashers, hot water heaters or any other appliance in a home can become damaged or fail because of hard water (calcium or mineral build-up) at any time even after an inspection. Get the water tested by a water softener company and fixtures evaluated by a licensed plumber before closing. Older homes can also have rusty water from street pipes or connections and iron in plumbing pipes such as galvanized pipes. These can corrode and rust from inside out and cause leaks, cracks and clogs. Have plumber upgrade older plumber in home. Plumbing code or any other code inspection in NOT performed in a general home inspection. Seek out a licensed plumber or township code officer for that type of inspection. All homes will need plumbing repairs (leaks, clogs, corrosion, upgrades, repairs, etc.) at any time in the life of the home. Plan and budget for these repairs and upgrades. Only a licensed plumber should make these repairs. Ask if there plumbing insurance available for sewer main and water mains in this township; check with water company.

CONCERNS:

1. There was handyman plumbing installations in building, old/corroded/leaking plumbing (piping/drains/valves, etc.), strong methane smell in basement, laundry sink draining to a sump pump, slow drains, improperly sloped waste pipes (cast iron in basement), abandoned piping, broken valves (water/gas), cutoff piping, improperly vented hot water heaters & boiler, etc. Have a licensed plumber evaluate the plumbing in entire building and advise on all repairs and upgrades.
2. There were water stains/rot on sub flooring; have plumber evaluate all leaks. Plumbing upgrades needed throughout the building. Have all water damage/rot repaired along with structural repairs.
3. Ask if there plumbing insurance available for sewer main and water mains in this township; check with water company.

HEATING**HEATING SYSTEM - UNIT #1**Location: **basement**

(See remarks page)

BOILER SYSTEM N/A**Brand Name:****Williamson**

Approximate age: ~2007 year(s)

 Gas/pilot "Off"**Carbon Monoxide:** N/A Detected at Plenum/Register Not tested**CO Test:** Yes No**Combustion Air Venting Present:** Yes No N/A**Energy Source:** Gas LP Oil lines in basement Electric**Distribution:** Missing radiators & no heat in areas Baseboard Steam Radiator**Circulator:** Pump Gravity Multiple zones**Controls:**

Temp/pressure gauge exist:

 Yes No**Operating:** Yes No- not on**Emergency shutoff:**Disconnect: Yes No**Combustion Air Venting Present:** Yes No N/A**Relief valve:** Yes No MissingExtension proper: Yes No**Operated:****When turned on by thermostat:** Fired Did not fire- gas turned off on boiler**Operation:** **Not able to test-** have plumber or boiler contractor turn on gas & light boiler

Recommend HVAC technician examine yearly, obtain township code inspections for Fire and HVAC sub codes prior to closing. The inspection is not required to determine heat supply adequacy or distribution balance for the home or building. Have an HVAC contractor or boiler contractor evaluate the adequacy and required size needed before closing.

Recommend testing Boiler, radiators/distributions, heat in all rooms, chimney & flues prior to closing

OTHER SYSTEMS N/A Electric baseboard Radiant ceiling cable Gas space heater Wood burning stove

(See Remarks page)

Proper Operation: Yes No**System Condition:** Satisfactory Marginal Poor**GENERAL COMMENTS**

HEATING: The boiler & pilot was found "off" in basement. The venting on boiler & hot water heaters was unconventional & improper pitch on boiler vent. The boiler vent should vent upwards and below the gas hot water heaters. The venting from all three appliances goes into same flue. Recommend a licensed plumber or boiler contractor evaluate venting, check for flue size/number of appliances allowed in township and check for presence of liner for fire/life safety. There were rusty condensate drip marks around the vent connector to chimney; drafting concerns. Recommend having all chimney & flues cleaned and evaluated along with the boiler for safety. Level II camera chimney inspection is always recommended when changing ownerships as per National Fire Safety Standard NFPA211 before closing. Water stains on air vent on radiators in apartment. Have all radiators and distribution piping/connections checked when boiler turned on and tested before closing. There was copper line(s) in basement on floor; follow-up with a tank sweep contractor to rule out any buried oil tanks on property before closing. If rooms in apartment or building are upgraded or gutted, be aware of possibility of concealed asbestos since home had plaster walls & ceilings original to home. Often asbestos insulation was used in older homes or buildings on heating pipes. Also knob & tube older wiring can exist behind these plaster walls; see electrical section comments.

CONCERNS:

1. There was copper line(s) in basement on floor; follow-up with a tank sweep contractor to rule out any buried oil tanks on property before closing.
2. The boiler & pilot was found "off" in basement. The venting on boiler & hot water heaters was unconventional & improper pitch on boiler vent. The boiler vent should vent upwards and below the gas hot water heaters. The venting from all three appliances goes into same flue. There were rusty drip marks on wall under the vent connector; drafting concerns. Recommend a licensed plumber or boiler contractor evaluate venting, check for flue size/number of appliances allowed in township and check for presence of liner for fire/life safety. Water stains on air vent on radiators in apartment. Have all radiators and distribution piping/connections checked when boiler turned on and tested before closing. Recommend testing Boiler, radiators/distributions, heat in all rooms, chimney & flues prior to closing.



Figure 29 Recommend a property tank sweep to rule out any possibility of buried oil tanks on property before closing.

COOLING

COOLING SYSTEM – UNIT #1 Central system **Old A/C wall units** Location: main building Age: old

Energy Source: Electric Gas Water Other

Unit Type: Air cooled Water cooled Gas chiller Geothermal Heat pump

Evaporator Coil: Satisfactory Not visible Needs cleaning Damaged

Refrigerant lines: *Leak* *Damage* *Insulation missing* Satisfactory

Condensate Line/Drain: To exterior To pump Floor drain Laundry sink Other

Temperature Differential : Unit 1 ??? °F Unit 2 ??? °F Unit 3 ??? °F Unit 4 ??? °F Unit 5 ??? °F

Difference in temperature (split) should be 15-22° Fahrenheit (*See remarks page*)

Compressor Condition: Satisfactory Marginal Poor Rusted Damaged

Operation: Satisfactory: Yes No *Not operated due to exterior temperature*

Recommend HVAC technician examine/clean/service yearly

Note: If present, through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

GENERAL COMMENTS

COOLING: There were some through wall A/C units. Through wall and window A/C units produce moisture and may potentially leak into interior walls and window openings. This moisture can cause damage to adjacent structural members. The damage is often not visible and can go undetected unless the A/C unit(s), wall coverings, flooring and siding are removed. Such removal is not feasible during a home inspection and therefore is limited or not possible to see inside of walls. Further investigation is always recommended to rule out water or condensation damage. Units should be removed periodically to inspect inside of walls.

ELECTRICAL

MAIN PANEL Location: **store by front door** Condition: Satisfactory Marginal Poor
Adequate Clearance To Panel: Yes No Amperage: **not visible (metal tab covering markings)** Volts 120/240
 Breakers Fuses
Appears Grounded: Yes No Not visible
G.F.C.I. present: Yes No **Operative:** Yes No
A.F.C.I. present: Yes No **Operative:** Yes No
MAIN WIRE: Copper Aluminum Copper clad aluminum Tin clad copper Not visible
 Tapping before the main breaker *Double tapping of the main wire*
Condition: Satisfactory Poor **Federal Pacific Panel Stab Lok® (See remarks page)***
Predominant BRANCH WIRE: Copper **Aluminum*** Copper clad aluminum Not visible
Condition: POOR Poor **Recommend electrician evaluate/repair***
 Overloaded circuits Scorched outlets & multipliers (store)
 Painted over outlets Old devices Tin clad copper, tin soldier/cloth wiring
 Open junction boxes, loose wiring, handyman wiring & installations, hazards exist
 Romex BX cable Conduit **Knob & tube possible in this building****
 Double tapping/jumpered **Wires undersized/oversized breaker/fuse**
 Have a licensed electrician evaluate all electric in main building & garage (everywhere)
 Read **REMARKS** addendum to report- "tripping breakers"

SUB PANEL(S) None apparent Breakers **Improper wiring- Hazardous/Dangerous wiring & installations**
 Location 1: **basement** Location 2: 1st floor **hallway to apartment**
Predominant Branch Wire: Copper Aluminum Copper clad aluminum
 Neutral/ground separated: Yes **No** Neutral isolated: Yes **No** **Safety hazard**
Condition: **Recommend a licensed electrician evaluate electrical in main building & garage- unconventional wiring, installations and hazards exist**

ELECTRICAL FIXTURES

A representative number of installed lighting fixtures, switches, and receptacles located inside the house, garage, and exterior walls were tested and found to be:

Condition: Satisfactory Marginal Poor
 inaccessible areas- storage, shelving, equipment
 Open grounds Reverse polarity GFCIs recommended
 Solid conductor aluminum branch wiring circuits* (See remarks page)
 Ungrounded 3-prong outlets **Recommend electrician evaluate/repair***

GENERAL COMMENTS

ELECTRICAL: There were buzzing breaker(s) in main panel in the store; safety hazard/dangerous. There were different breakers in the main panel and the sub panel in basement; need to have same breaker types. There were missing screws on panel covers & improper screw types (sharp wood screws are dangerous). Add proper screws on panel covers for safety. The sub panel in basement was wired improperly; hazardous. The sub panel in the hallway for apartment has two breakers "Off" at time of inspection. There was fire panel equipment being installed to right of sub panel. Follow-up with electrician and permits for fire alarm equipment. There were exits signs and emergency lighting visible in building or basement. Follow-up with fire inspector for testing and inspection of all fire and safety equipment. The sub panel in the hallway did not have labeled breakers; have electrician evaluate and label all breakers in panel. There were glass fuse box in apartment hallway near sub panel in apartment; have evaluated and removed or upgraded. Fuses are obsolete old equipment. There were open breaker slots in the main panel in store and the sub panel in basement; dangerous. Covers added for safety. The main store panel had more than 6 throws; main breaker recommended when more than 6 throws for safety. There was a sub panel in basement that jumpered and wired improperly or handyman rigged; dangerous! This may also be connected to the apartment hallway sub panel. There were mixed breaker types in panels; need to have compatible breaker types in same brand enclosures. There were open junction boxes, loose wiring, live abandoned wiring (dangerous), improper installations (devices & sub panels), old devices, inaccessible areas, no power to garages, etc. Dangerous conditions exist in building and garage. The building & garage needs electrical upgrades throughout store, basement, apartment, garage and exterior. Each

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family and business has different electrical requirements or needs. Discuss all renter and business electrical needs with electrician and have added. Have electrician evaluate for new wiring and upgrades throughout the building and garage. Do not use extension cords, multiplier adapters or power strips to add more power; fire safety concern. If a breaker or circuit is tripped more than once, it is recommended to have an electrician evaluate circuits and have items separated by a licensed electrician. Items such as sump pumps, garage door openers, A/C units, stoves refrigerators or other heavy draw appliances should be on separate dedicated circuits. Knob & tube wiring can exist in older buildings typical of the 1920's or older homes. Always have electrician upgrade this type of wiring when present or found to Romex ground wiring. The knob & tube wiring is very old, brittle and does not have a ground conductor and therefore has safety concerns. The building needs upgrades throughout the building and garage.

CONCERNS:

- 1. There were buzzing breakers in main panel in the store; safety hazard/dangerous. There were open junction boxes, loose wiring, live abandoned wiring (dangerous), improper installations (devices & sub panels), missing screws/improper panel screws, old devices, inaccessible areas, no power to garages, etc. Dangerous conditions exist in building and garage. The building & garage needs electrical upgrades throughout store, basement, apartment, garage and exterior. Each family and business has different electrical requirements or needs. Discuss all renter and business electrical needs with electrician and have added.**
- 2. Knob & tube wiring can exist in older buildings typical of the 1920's or older homes. Always have electrician upgrade this type of wiring when present or found to Romex ground wiring. The knob & tube wiring is very old, brittle and does not have a ground conductor and therefore has safety concerns. The building needs upgrades throughout the building and garage.**

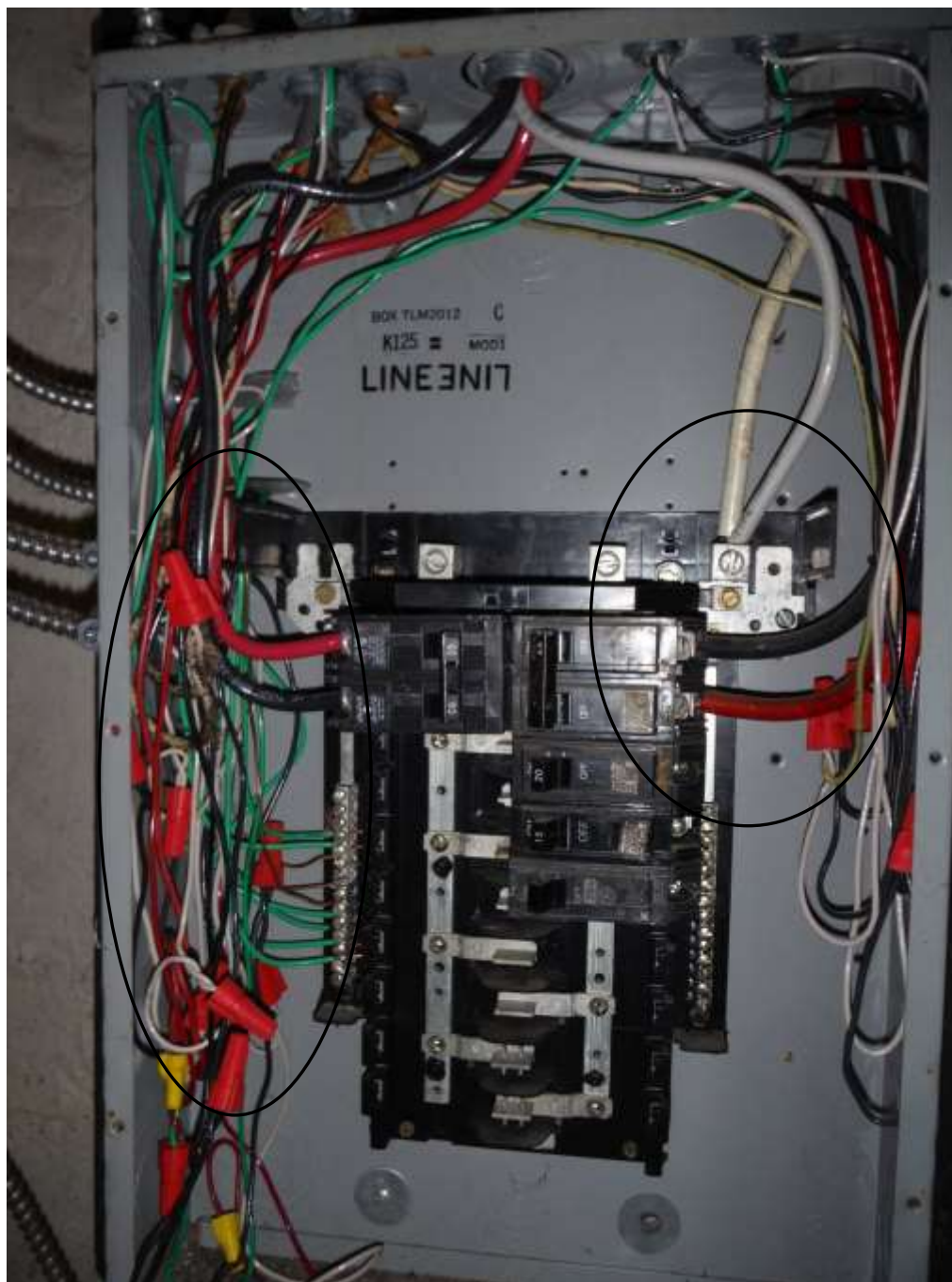


Figure 30 Sub panel in basement improperly wired, open breaker slots; dangerous. Have a licensed electrician evaluate all panels and electrical in building and garage.

SUMMARY

Repairs are recommended for any comments or defects that are stated in this report. Every home must be maintained and will require repairs. Problems will occur and things will break. This report is designed to help reduce the possibility, but will not eliminate them from happening. Issues can and will arise at any time. Budget accordingly. Recommend checking with local authorities for permits on additions and alterations. ***Please be advised that it is important to read the entire report and the remarks pages that are sent separately to the client. These remarks pages contain important maintenance information that the client needs to be aware of.*** All homes will need repairs, routine maintenance and upgrades over the course of its life. Addressing plumbing, heating, electrical and other mechanical problems or issues as they occur, with qualified contractors, should be done to keep home maintained properly. Older homes will often require structural upgrades when renovations are made. These will be dictated by the engineer and or architect designing the renovation or modification to bring structure up to current building practices and township specifications. It is recommended to obtain township permits for history of home. Recommend a "Home Warranty." Roof leaks are number one cause of water damage to interior of home. Damage can often be concealed inside walls of interior and often revealed either when renovations are done or when water issue is ongoing for a period of time. Water damage can include structural as well as environmental manifestations such as mold and mildew among others. All roofs should be inspected yearly, gutters cleaned several times a year. These systems must be maintained to provide a water tight cladding to protect the home. Often a damage found does not necessarily correspond to the roof directly above, but at some other part of the roof. Water can travel below the surfaces of roof and end up in any number of places that are hidden or concealed. A general visual home inspection cannot open up walls, ceilings, flooring or guess what is behind them. This uncertainty is always possible when roof, flashing, siding and all exterior systems are not maintained.

"If there is anything in the report that you do not understand you must contact us promptly prior to closing. If not addressed, any ignored item(s), misunderstood or overlooked as to their importance and implication(s,) can and frequently do, result in negative outcome and incur costs to repair or replace." Please read REMARKS addendum as it is part of the report and contains important information. Any areas reported as inaccessible and not inspected or evaluated must be made accessible and inspected prior to the closing.

All items must be addressed and repaired prior to closing.

* Items listed in this report may inadvertently have been left off the Summary Sheet. Customer should read the entire report, including the Remarks. Boxed area may have been checked or unchecked inadvertently- written comments are most important and purposely written into report which may not reflect boxed area checked.

APPENDIX I

Examples - of Store front in small spaces: consult with a commercial store front designer for ideas to maximize storage/inventory, keep noise & clutter down, maximize visibility of patrons & inventory, separate or reduce heat & noise from refrigeration, energy efficient refrigeration, etc.





APPENDIX II

Examples - of Safety gates, railings or netting to consider for the delivery basement door on street side. Follow-up with Industrial safety catalogs & companies and their consultants for the best guard rail to use when the basement is open. Recommend a fence, railing or safety grille on top of shed roof between this building and right neighbor for safety; drop off is dangerous!



Figure 31 manhole railing



APPENDIX III

Examples - of Utility sinks with automatic sensed ejector pumps.



Figure 32 Direct mount pump goes under sink.



APPENDIX IV

Examples - of posted signage for safety to deter persons off garage roof and fall hazard when the basement is open (<http://www.mysafetysign.com/fall-hazard-open-pit-osh-a-caution-sign/sku-s-6731>).



Add words for custom signs



APPENDIX V

Examples - Conveyors for basement deliveries.



Examples of conveyors for street basement deliveries (<http://www.conveyorandlift.com/conveyor.html>)